

PROPOSED PC AMENDMENT TO
PC 2342, DATED 1967

HAYES
GROUP
ARCHI-
TECTS

HAYES GROUP ARCHITECTS, INC.
2657 SPRING STREET
REDWOOD CITY, CA 94063
P: 650.365.0600
F: 650.365.0670
www.thefhavesgroup.com

PROJECT ADDRESS:
2901-2905
MIDDLEFIELD RD.
PALO ALTO, CA 94306

ISSUANCE:

NO.	DESCRIPTION:	DATE:
	PLANNING SUBMITTAL	02.01.2023

DRAWING CONTENT
TITLE SHEET

STAMP

JOB NUMBER: 2202.00	SCALE: AS NOTED	DRAWN BY: L.B.	<p>All drawings and written materials contained herein constitute the original & unpublished work of the Architect and the same may not be duplicated, used or disclosed without the written consent of the Architect.</p> <p>© Hayes Group Architects, Inc.</p>
			DRAWING NUMBER

AO.1

PROJECT DIRECTOR

CLIENT
RLD LAND LLC
240 LORTON AVENUE
4TH FLOOR
BURLINGAME, CA 94603
650.571.1010

ARCHITECT

HAYES GROUP ARCHITECTS
2657 50TH STREET
REDWOOD CITY, CA 94063
650.365.0600 PH
650.365.0670 FAX
CONTACT: Ken Hayes x:15
khayes@hgroup.com or kenhayes.com

VICINITY MAP



PROJECT INFORMATION

PROJECT DESCRIPTION:	SEE ATTACHED LETTER.
APN	177-36-152AD 127-35-194
ZONE	RM-20
OCCUPANCY	R-3
CONSTRUCTION	V-B
BUILDING CODE	2021 CBC CALIFORNIA RESIDENTIAL CODE
MECHANICAL CODE	2021 CBC CALIFORNIA MECHANICAL CODE
PLUMBING CODE	2021 CBC CALIFORNIA PLUMBING CODE
ELECTRICAL CODE	2021 CBC CALIFORNIA ELECTRICAL CODE
GREEN CODE	2022 CBC CALIFORNIA GREEN CODE
2021 CBC CALIFORNIA BUILDING CODE	
PARCEL LOT A	19,933 SF
PARCEL LOT B	6,402 SF

SHEET INDEX

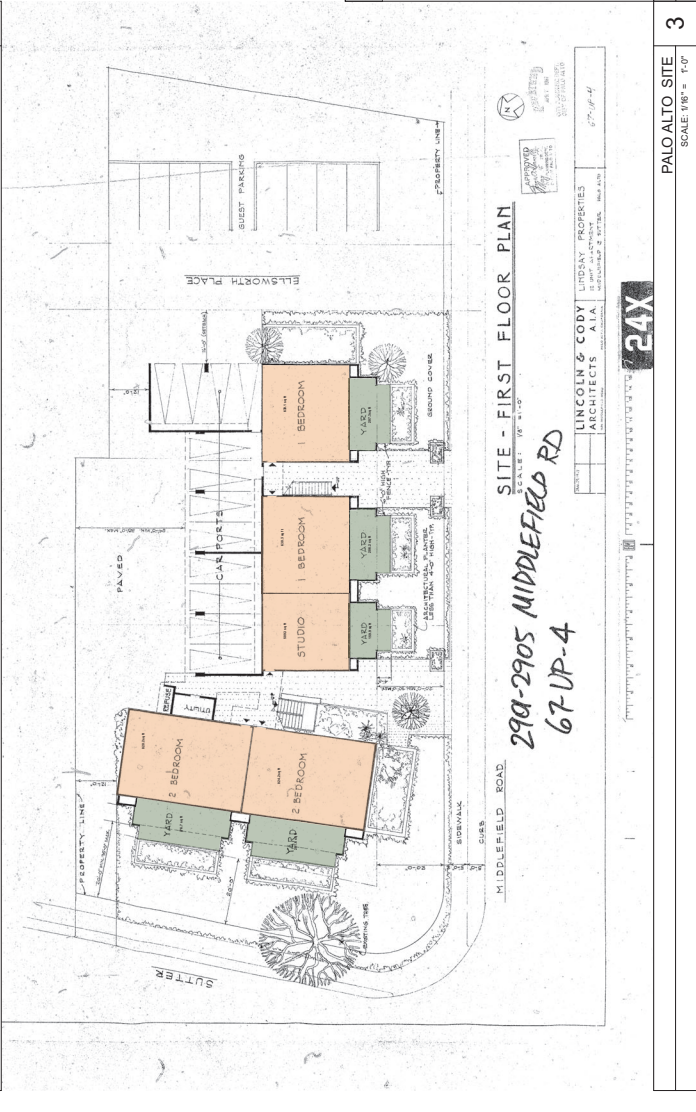
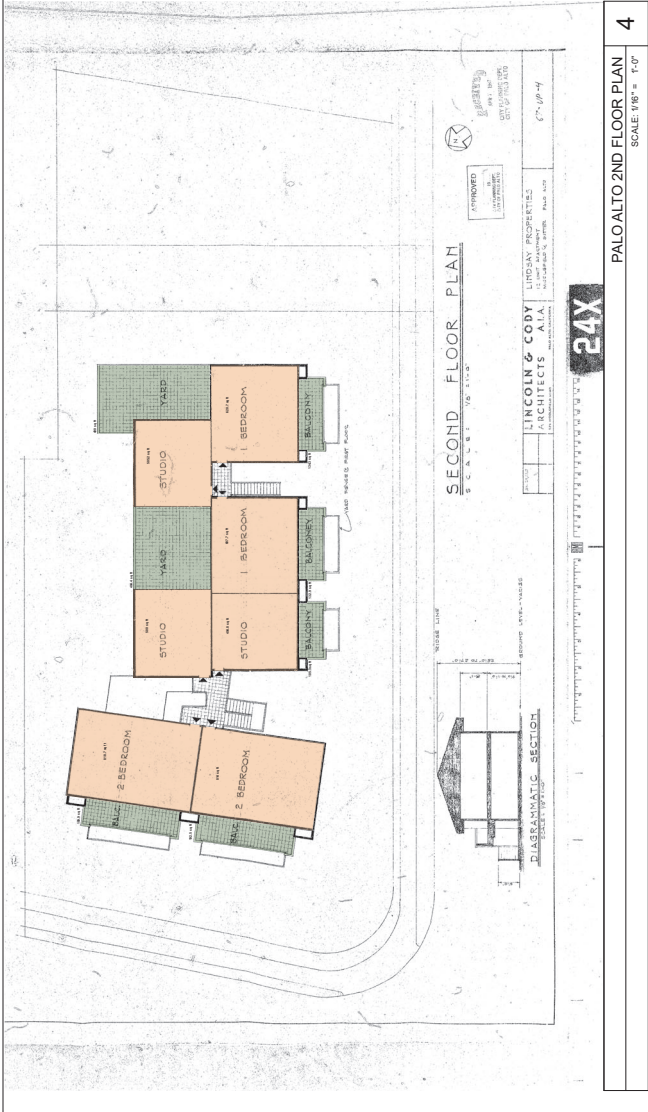
ARCHITECTURAL	A-0.1	SPECIAL TREE PROTECTION INSTRUCTION SHEET
	T-1	TITLE SHEET
	A-1.0	PROPOSED PC 2343 DEVELOPMENT PLAN FOR REFERENCE ONLY
	A-2.0	PROPOSED SITE PLAN
	A-3.0	PHOTOS
	ALTW-1	ALTA W/BLAND TITLE SURVEY
	REF-1	REFERENCE DATA
	REF-2	REFERENCE SITE PLAN
	REF-3	REFERENCE FLOOR PLAN
	REF-4	REFERENCE ELEVATIONS

Make sure your crews and subs do the job right!

Many, am at t b r r i a n s h i n n d g a s t i u v c i t t u e s , c l o
e m t r e e d P a r a d e s t o n i t Z o n e r (e T r e s t
t a c t i v y o c c u r s w i t h i n t h e
M a w p . u n i t y o f , p e a v o e a k t o t h e r s / t r e e s /

[illegible][illegible][illegible][illegible][illegible][illegible][illegible]

Project Data



EXISTING PC - 2343

(E) SITE AREA	26,386
(E) BUILDING AREA (APPROX.)	7,775
(E) FAR (APPROX.)	0.29
(E) UNITS	(4) 2 BEDROOM (4) 1 BEDROOM (4) STUDIO 12 UNITS TOTAL
(E) PRIVATE OPEN SPACE (APPROX.)	2,861
(E) PARKING	(MIDDLEFIELD) (ELLSWORTH) 12 COVERED 8 UNCOVERED
(E) BIKE PARKING	20 STALLS TOTAL
PROVIDED WITHIN UNITS	

SITE DEVELOPMENT CALCULATIONS

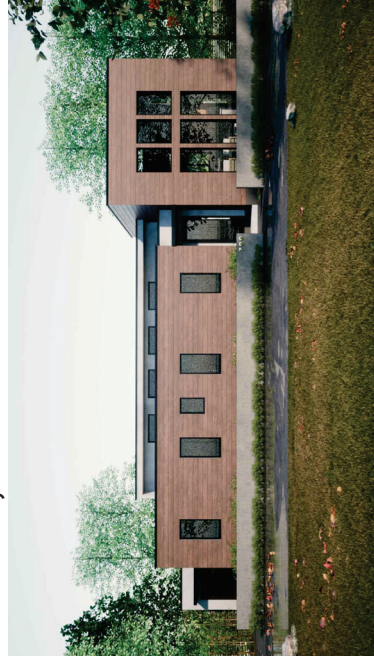
1

PALO ALTO SITE

3

		
<div>VIEW OF EXISTING 700 ELLSWORTH</div> <div>SCALE: 6</div>	<div>VIEW FROM SUTTER AVE.</div> <div>SCALE: 4</div>	<div>VIEW OF SUTTER APARTMENT FROM ELLSWORTH PLACE</div> <div>SCALE: 2</div>
		
<div>VIEW OF INTERIOR PARKING</div> <div>SCALE: 5</div>	<div>VIEW FROM MIDDLEFIELD RD.</div> <div>SCALE: 1</div>	

**A NEW SINGLE-FAMILY
RESIDENCE FOR:
Nitin Handa
700 Ellsworth Pl.
Palo Alto, CA. 94306**



perspective

EXCELLENCE ACHIEVED BY ALL

The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.

- Battery System 12.5 kWh (Self Utilization Credit taken)
- PV 80 and 40 Wp modules
- IAG Ventilation System Heat Recovery minimum 75 %
- IAG Ventilation System Heat Recovery maximum 95 %
- IAG Ventilation System Heat Recovery minimum 75 % and 80 ASSE
- IAG Ventilation System supply outside air inlet, filter, and HEPA cores accessible per RACH Reference
- Floor has high level of insulation
- Ducts in crawl space
- Northeast Energy Efficiency Alliance (NEEA) rated heat pump water heater (specific brand/model), or

LIFE OF THE AFRICAN

The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building tables below. Registered CDRs and CRPs are required to be completed in the HERS Register.

- Building Level Verifications:
 - Kitchen range hood
- Cooling System Verifications:
 - Minimum Airflow
 - Verified BEER
 - Fan Efficacy Watts/CFM
- Heating System Verifications:
 - Verified RHT
 - Verified hot pump rated heating capacity
- HVAC Distribution System Verifications:
 - Duct leakage testing
- Domestic Hot Water System Verifications:

• -- Nons -

SCOPE OF WORK:

DEMOLISH EXISTING SINGLE-FAMILY RESIDENCE AND
CONSTRUCT A NEW SINGLE-FAMILY RESIDENCE WITH AN
ATTACHED GARAGE AND DETACHED ADU.

INDEX OF PAGES:

COVER SHEET	SHEET 0
TOPOGRAPHIC SURVEY	SHEET 101
GRAVING & DRAINAGE PLAN	SHEET C1
CONSTRUCTION DETAILS	SHEET C2
FOUNDATION & EMBANKMENT CONTROL PLAN	SHEET C3
EXP.	SHEET C4
SITE PLAN	SHEET A0
ROOF PLAN	SHEET A1
ELEVATIONS	SHEET A2
RAILINGS SECTIONS	SHEET A3
GARAGE PLAN, ROOF PLAN, ELEVATIONS	SHEET A4
SECTION	SHEET A5
ARCHITECTURAL DETAILS	SHEET A6
ARCHITECTURAL NOTES	SHEET A7
CALGREEN MANDATORY MEASURES	SHEET A8
CALGREEN MANDATORY MEASURES	SHEET A9
CALGREEN MANDATORY MEASURES	SHEET A10
MATERIALS PLAN	SHEET L1
PLANTING PLAN	SHEET L2
IRRIGATION PLAN	SHEET L3
STRUCTURAL NOTES	SHEET S0
ROOF RAVING PLAN	SHEET S1
DRAG LAYOUT / SECTIONS	SHEET S2
STRUCTURAL DETAILS	SHEET S3
STRUCTURAL DETAILS	SHEET S4
STRUCTURAL DETAILS	SHEET S5
STRUCTURAL DETAILS	SHEET S6
SHIPON STEEL STRONG-WALL	SHEET S7
TABLE 24	SHEET T1
TABLE 25	SHEET T2
TABLE 26	SHEET T3
TABLE 27	SHEET T4
TABLE 28	SHEET T5
TABLE 29	SHEET T6
TABLE 30	SHEET T7
TABLE 31	SHEET T8
TABLE 32	SHEET T9
TABLE 33	SHEET T10
TABLE 34	SHEET T11
TABLE 35	SHEET T12
TABLE 36	SHEET T13
TABLE 37	SHEET T14
TABLE 38	SHEET T15
TABLE 39	SHEET T16
TABLE 40	SHEET T17
TABLE 41	SHEET T18
TABLE 42	SHEET T19
TABLE 43	SHEET T20
TABLE 44	SHEET T21
TABLE 45	SHEET T22
TABLE 46	SHEET T23
TABLE 47	SHEET T24
TABLE 48	SHEET T25
TABLE 49	SHEET T26
TABLE 50	SHEET T27
TABLE 51	SHEET T28
TABLE 52	SHEET T29
TABLE 53	SHEET T30
TABLE 54	SHEET T31
TABLE 55	SHEET T32
TABLE 56	SHEET T33
TABLE 57	SHEET T34
TABLE 58	SHEET T35
TABLE 59	SHEET T36
TABLE 60	SHEET T37
TABLE 61	SHEET T38
TABLE 62	SHEET T39
TABLE 63	SHEET T40
TABLE 64	SHEET T41
TABLE 65	SHEET T42
TABLE 66	SHEET T43
TABLE 67	SHEET T44
TABLE 68	SHEET T45
TABLE 69	SHEET T46
TABLE 70	SHEET T47
TABLE 71	SHEET T48
TABLE 72	SHEET T49
TABLE 73	SHEET T50
TABLE 74	SHEET T51
TABLE 75	SHEET T52
TABLE 76	SHEET T53
TABLE 77	SHEET T54
TABLE 78	SHEET T55
TABLE 79	SHEET T56
TABLE 80	SHEET T57
TABLE 81	SHEET T58
TABLE 82	SHEET T59
TABLE 83	SHEET T60
TABLE 84	SHEET T61
TABLE 85	SHEET T62
TABLE 86	SHEET T63
TABLE 87	SHEET T64
TABLE 88	SHEET T65
TABLE 89	SHEET T66
TABLE 90	SHEET T67
TABLE 91	SHEET T68
TABLE 92	SHEET T69
TABLE 93	SHEET T70
TABLE 94	SHEET T71
TABLE 95	SHEET T72
TABLE 96	SHEET T73
TABLE 97	SHEET T74
TABLE 98	SHEET T75
TABLE 99	SHEET T76
TABLE 100	SHEET T77
TABLE 101	SHEET T78
TABLE 102	SHEET T79
TABLE 103	SHEET T80
TABLE 104	SHEET T81
TABLE 105	SHEET T82
TABLE 106	SHEET T83
TABLE 107	SHEET T84
TABLE 108	SHEET T85
TABLE 109	SHEET T86
TABLE 110	SHEET T87
TABLE 111	SHEET T88
TABLE 112	SHEET T89
TABLE 113	SHEET T90
TABLE 114	SHEET T91
TABLE 115	SHEET T92
TABLE 116	SHEET T93
TABLE 117	SHEET T94
TABLE 118	SHEET T95
TABLE 119	SHEET T96
TABLE 120	SHEET T97
TABLE 121	SHEET T98
TABLE 122	SHEET T99
TABLE 123	SHEET T100

ABBREVIATIONS:

[illegible]

LEGEND

<ul style="list-style-type: none"> - EXISTING WALL TO REMAIN - EXISTING WALL REMOVED - NEW WALL CONSTRUCTION - SECTION CUT 	<ul style="list-style-type: none"> - DIMENSIONAL REFERENCE - REVISION - REVISION CLOUD - DETAIL NUMBER PAGE - ROOF PITCH

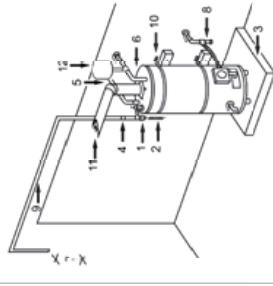
GENERAL NOTES:

- The proposed residence is to be constructed by a Contractor and the construction plans are based on floor plan and structural steel framing. The construction plans are intended to be comprehensive and it shall be the responsibility of the Contractor to notify the Contractor of any necessary clarifications or modifications.
- All work connected with this project shall be done in a professional manner in accordance with the applicable laws and legally defined terms, accepted practices of the trade involved, applicable codes and trade standards governing each phase of work, including applicable codes and trade standards 2019 California Building Code (CBC), 2019 California Mechanical Code (CMC), 2019 California Electrical Code (CEC), 2019 California Fire Code (FC), 2019 California Consumer Code (CCC), 2019 California Civil Code (C.C.C.), and all applicable local codes and/or legislation.
- The Contractor shall be responsible for notifying the Designer of all unusual or non-typical conditions, and any discrepancies of conditions within the plans before commencing any work. Any conditions discovered during the work, involved otherwise they will be the responsibility of the Contractor. After completion of the project, The Contractor shall be responsible for providing the Designer with a list of existing materials and prefabricated items.
- Adequate supervision and periodic inspection during the construction shall be responsible to ensure that the inspection and supervision are provided by qualified person.
- These plans shall not be considered until a building permit has been issued.
- In all cases within dimensions the dimensions are to the face of stud or joist. Concrete walls are noted.
- Larger scale details take precedence over smaller scale details.
- Lay out all structural work by referring to dimensions and elevation notes on the structural drawings. Scale dimensions from controlling surface points and datum material away from Slope finish exterior surface away from

NOTE:
THE FOLLOWING CODES AND REGULATIONS
AS AMENDED BY THE STATE OF CALIFORNIA
LOCAL JURISDICTION ARE APPLICABLE TO THIS
PROJECT.

CEC	2019 California Building Code
CEBC	2019 California Residential Building Code
CEBC	2019 California Green Building Code
CEC	2019 California Electrical Code
CPC	2019 California Plumbing Code
CYC	2019 California Mechanical Code
CEC	2019 California Energy Code
CEC	2019 California Residential Code

Jeff Quinta



WATER HEATER INSTALLATION - REQUIREMENTS FOLLOW THESE SPECIFICATIONS OUTLINED AND ILLUSTRATED BELOW WHEN INSTALLING A WATER HEATER

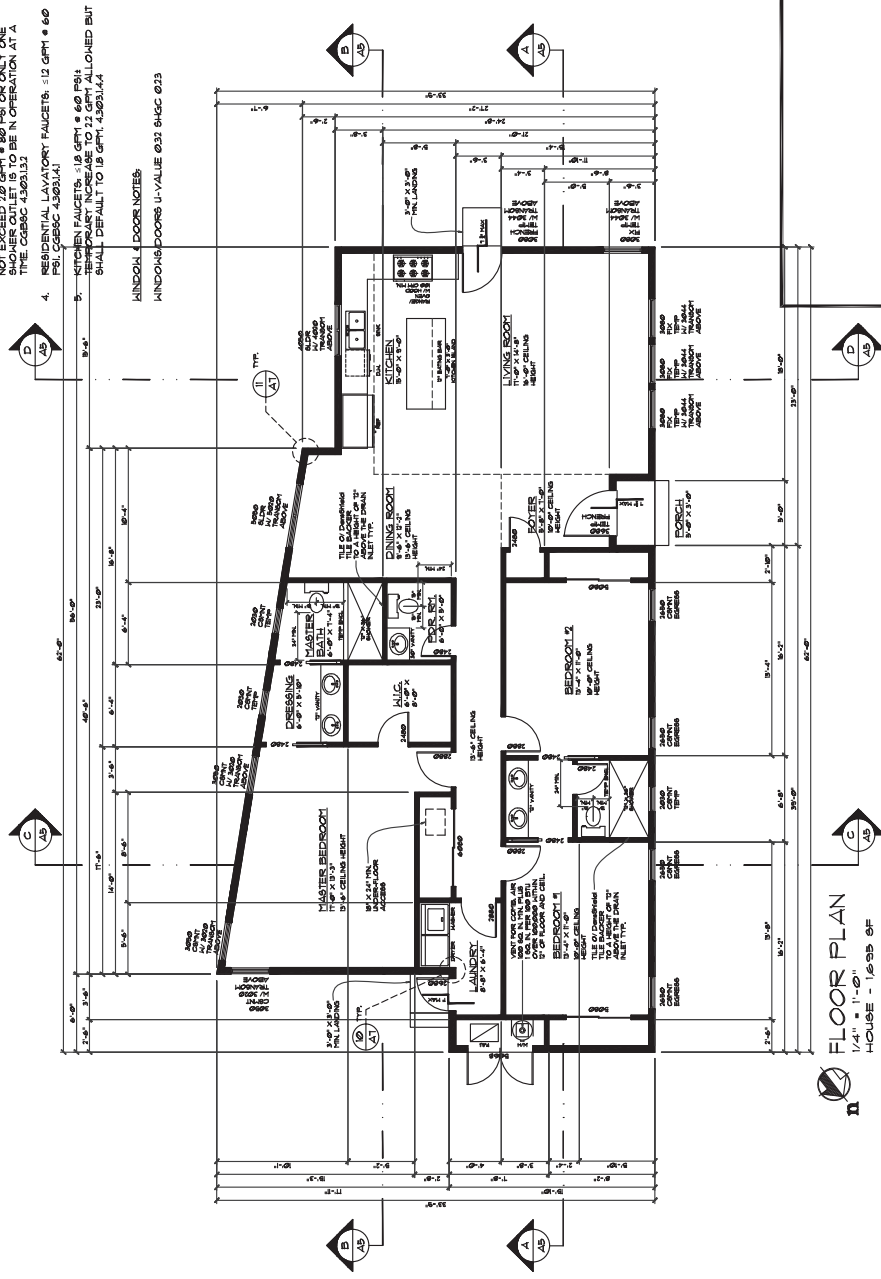
1. 3/4" TEE WITH 1/8" REDUCER
2. 1/8" TUBING DRIP COIL WITH SLIGHTLY
ENLARGED END
3. 3" MINIMUM SLAB OR BASE
4. 3/4" UNION WITH 12"
5. HOT WATER LINE (INSULATED FIRST 5')
6. COLD WATER LINE WITH SHUTOFF VALVE
(INSULATED FIRST 5')
7. TERMINATE NOT LESS THAN 6' AND NOT MORE
THAN 12' AT EXTERIOR
8. GAS SUPPLY LINE WITH SEDIMENT TRAP.
COMPLETION OF SHUTOFF VALVE
9. 3/4" CPVC OR COPPER TUBING 1/4" PER FOOT
SLOPE TOWARD TERMINATION
10. SPECIAL STRAPS, LIMITED FOR SIZE OR TYPE 240
IN. (12" STRAPS, TOTAL 3 STRAPS
BAGGED STRAPS)
11. TIE CONNECTOR ANGLE APPLIANCE WITH 1/2"
MAXIMUM HORIZONTAL LENGTH 1/8" OF VERTICAL
FOR SINGLE TANK, 1/16" FOR B-VENT
12. EXPANSION TANK IF REQUIRED PERFC 602

**WATER HEATER STRAPPING.
WATER HEATERS REQUIRE BRACING IN PROPORTION
TO THEIR AREA.**

- UP TO 52-GALLON 9/16" - REQUIRES 2 STRAPS, UPPER STRAP - PLACE 9 INCHES FROM THE TOP OF THE UNIT OR WITHIN THE UPPER ONE-THIRD OF THE UNIT.
- LOWER STRAP - PLACE AT LEAST 4 INCHES ABOVE THE CONTROL-8 AND WITHIN THE LOWER ONE-THIRD OF THE UNIT.
- 75-GALLON UNIT - REQUIRES 3 STRAPS
- 100-GALLON UNIT - REQUIRES 4 STRAPS
- ANOTHER STRAP MUST BE ADDED FOR EVERY ADDITIONAL 25 GALLONS IN SIZE.

DUCTING NOTE:

ANY DUCTS THAT PENETRATE THE WALLS AND CEILING\$
BETWEEN THE GARAGE AND DWELLING SHALL BE MINIMUM 26
GAGE SHEET STEEL, $\frac{3}{8}$ "CIRC SECTION R302.5.21\$



FLOOR PLAN
1/4" = 1'-0"
HOUSE - 1695 SF

1/4" = 1'-0"

PRESCRIPTIVE PLUMBING FIXTURE REQUIREMENTS CGBC 4.303.1:

1. WATERS CLOSERS: 1/28 GAL/FLOOR.
2. SINGLE MONSTERHEADS: 1/8 GPM @ 60 PSI.
CROSS: 4/30X130.
3. MULTIPLE MONSTERHEADS COMBINED FLOW RATE SHALL NOT EXCEED 1/8 GPM PER MONSTERHEAD. ALL OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 1/2 GPM @ 60 PSI OR ONLY ONE MONSTERHEAD SHALL BE IN OPERATION AT A TIME. CROSS: 4/30X130.
4. RESIDENTIAL LAVATORY FAUCETS: ≤ 1.2 GPM @ 60 PSI. CROSS: 4/30X130.
5. KITCHEN FAUCETS: 1/8 GPM @ 60 PSI;
SINKS: 1/2 GPM @ 60 PSI. CLOSURES ALLOWED BUT SHALL DEFAULT TO 1/30X140.

WINDOW • DOOR NOTES

WINDOWS DOORS U-VALUE 0.32 SHGC 0.23

INNOVATIVE CONCEPTS



A New Single-Family Residence for:
Nitin Handa
700 Ellsworth Pl
Palo Alto, CA. 94306

100 Ellsworth Pl
Palo Alto, CA. 94306DRAWING CONTENT
REFERENCE F
PLAN

STAMP

12/10/2022
NOTED
GF
A1

Jill Quintan

Date: 1/31/23
File Name: Ellsworth House_BIM_ARCH